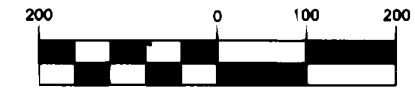


RECEIVING NO. 200009136033

P-98-01



(IN FEET)
1 inch = 200 ft.

LEGEND

- SET 5/8" REBAR W/ YELLOW CAP "NELSON" - LS 18092
- FOUND BRASS CAP
- x — FENCE
- — — ACCESS & UTILITY ESM'T
- ⊙ WELL

SUNSHINE ESTATES NO. 2

- | | |
|--|---|
| 1 NORMAN A. HELLEY
P.O. BOX 354
RONALD, WA 98940 | 6 RONALD S. RODARME
16611 S.E. 235TH
KENT, WA 98042 |
| 2 ANN MARIE MOLVIK
3549 S. MARINE VIEW DR.
GREENBANK, WA 98253 | 7 THE ONDRUCH FAMILY TRUST
18015 NE 10TH
BELLEVUE, WA 98008 |
| 3 THORE M. NIELSEN
8511 236TH ST. SW
EDMONDS, WA 98026 | 8 RONALD D. STOREY
10418 SE 186TH PL.
RENTON, WA 98055 |
| 4 BRIAN W. MOONEY
22019 THIRD PL. W.
BOTHELL, WA 98021 | 9 JAMES W. MCKEAN
2203 E. FIRST
ELLENSBURG, WA 98926 |
| 5 HARRY R. RANDALL
15055 SE 112TH
RENTON, WA 98059 | |

AUDITOR'S CERTIFICATE

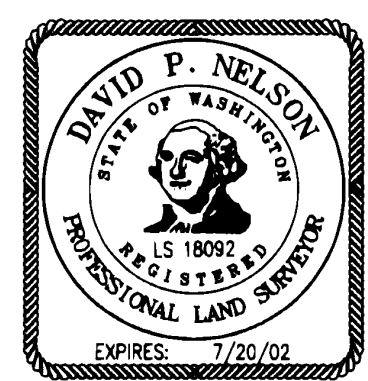
Filed for record at the request of the Kittitas County Board of Commissioners, this 13th day of September, A.D., 2000, at 13 minutes past 4 o'clock P.M., and recorded in Volume 8 of Plats, at page(s) 197, Records of Kittitas County, Washington.

BEVERLY M. ALLENBAUGH by: *B. Slack*
KITTITAS COUNTY AUDITOR
RECEIVING NO. 200009136033 Deputy Auditor

SURVEYOR'S CERTIFICATE

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of GREEN CROW PROPERTIES, INC. in AUGUST of 2000.

David P. Nelson
DAVID P. NELSON
Professional Land Surveyor
License No. 18092

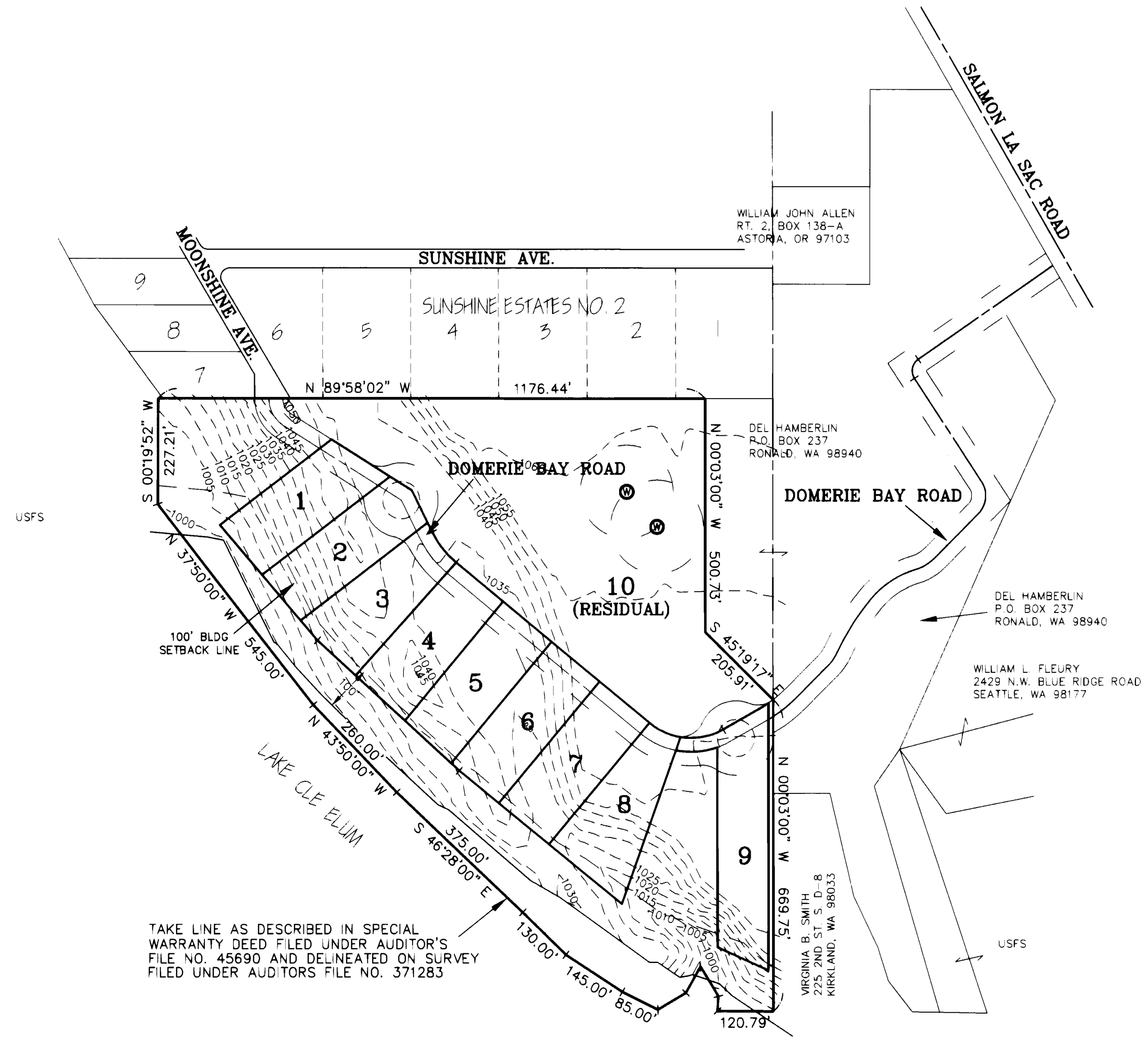


9/10/00
DATE

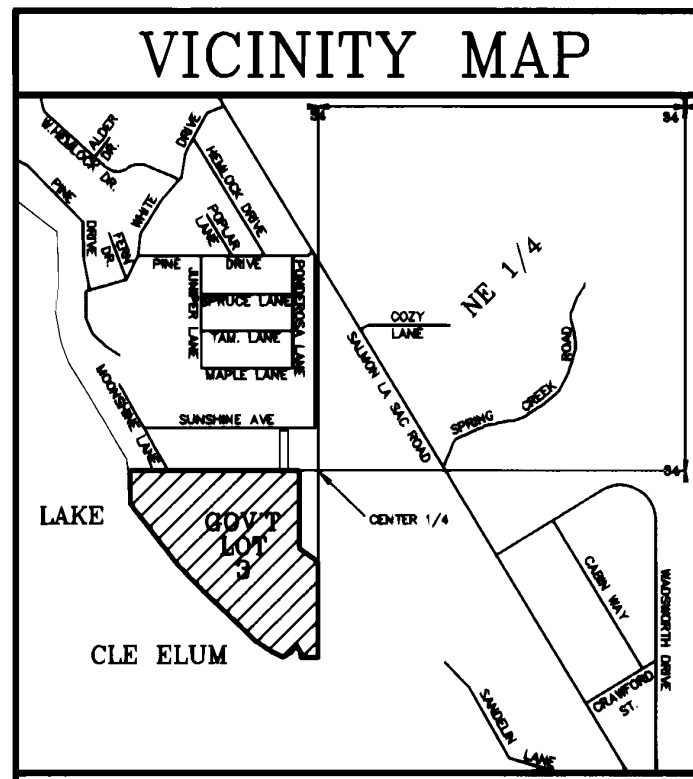
CRUSE & NELSON
PROFESSIONAL LAND SURVEYORS
217 E. Fourth St. P.O. Box 959
Ellensburg, WA 98926 (509) 925-4747

DOMERIE BAY

DOMERIE BAY
PART OF GOV'T LOT 3, SEC. 34, T. 21 N., R. 14 E., W.M.
KITTITAS COUNTY, WASHINGTON



TAKE LINE AS DESCRIBED IN SPECIAL WARRANTY DEED FILED UNDER AUDITOR'S FILE NO. 45690 AND DELINEATED ON SURVEY FILED UNDER AUDITOR'S FILE NO. 371283



APPROVALS

KITTITAS COUNTY DEPARTMENT OF PUBLIC WORKS
EXAMINED AND APPROVED THIS 11th DAY OF September, A.D., 2000.
[Signature]
DIRECTOR, DEPARTMENT OF PUBLIC WORKS

KITTITAS COUNTY HEALTH DEPARTMENT
I HEREBY CERTIFY THAT THE DOMERIE BAY PLAT HAS BEEN EXAMINED BY ME AND I FIND THAT THE SEWAGE AND WATER SYSTEM HEREIN SHOWN DOES MEET AND COMPLY WITH ALL REQUIREMENTS OF THE COUNTY HEALTH DEPARTMENT.
DATED THIS 11th DAY OF September, A.D., 2000.
[Signature]
KITTITAS COUNTY HEALTH OFFICER

CERTIFICATE OF COUNTY PLANNING DIRECTOR
I HEREBY CERTIFY THAT THE DOMERIE BAY PLAT HAS BEEN EXAMINED BY ME AND FIND THAT IT CONFORMS TO THE COMPREHENSIVE PLAN OF THE KITTITAS COUNTY PLANNING COMMISSION.
DATED THIS 3rd DAY OF September, A.D., 2000.
[Signature]
KITTITAS COUNTY PLANNING DIRECTOR

CERTIFICATE OF KITTITAS COUNTY TREASURER
I HEREBY CERTIFY THAT THE TAXES AND ASSESSMENTS ARE PAID FOR THE PRECEDING YEARS AND FOR THIS YEAR IN WHICH THE PLAT IS NOW TO BE FILED. PARCEL NO. 2114-34000-0001
DATED THIS 11 DAY OF September, A.D., 2000.
[Signature]
KITTITAS COUNTY TREASURER

CERTIFICATE OF KITTITAS COUNTY ASSESSOR
I HEREBY CERTIFY THAT THE PLAT OF DOMERIE BAY HAS BEEN EXAMINED BY ME AND I FIND THE PROPERTY TO BE IN AN ACCEPTABLE CONDITION FOR PLATTING. PARCEL NO. 2114-34000-0001
DATED THIS 11 DAY OF September, A.D., 2000.
[Signature]
KITTITAS COUNTY ASSESSOR

KITTITAS COUNTY BOARD OF COMMISSIONERS
EXAMINED AND APPROVED THIS 13th DAY OF September, A.D., 2000.
[Signature]
BOARD OF COUNTY COMMISSIONERS
KITTITAS COUNTY, WASHINGTON

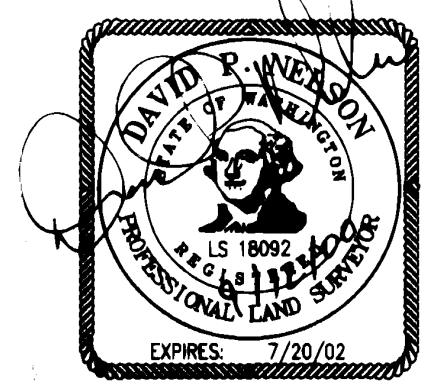
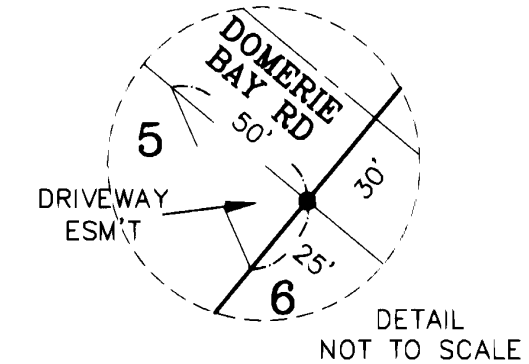
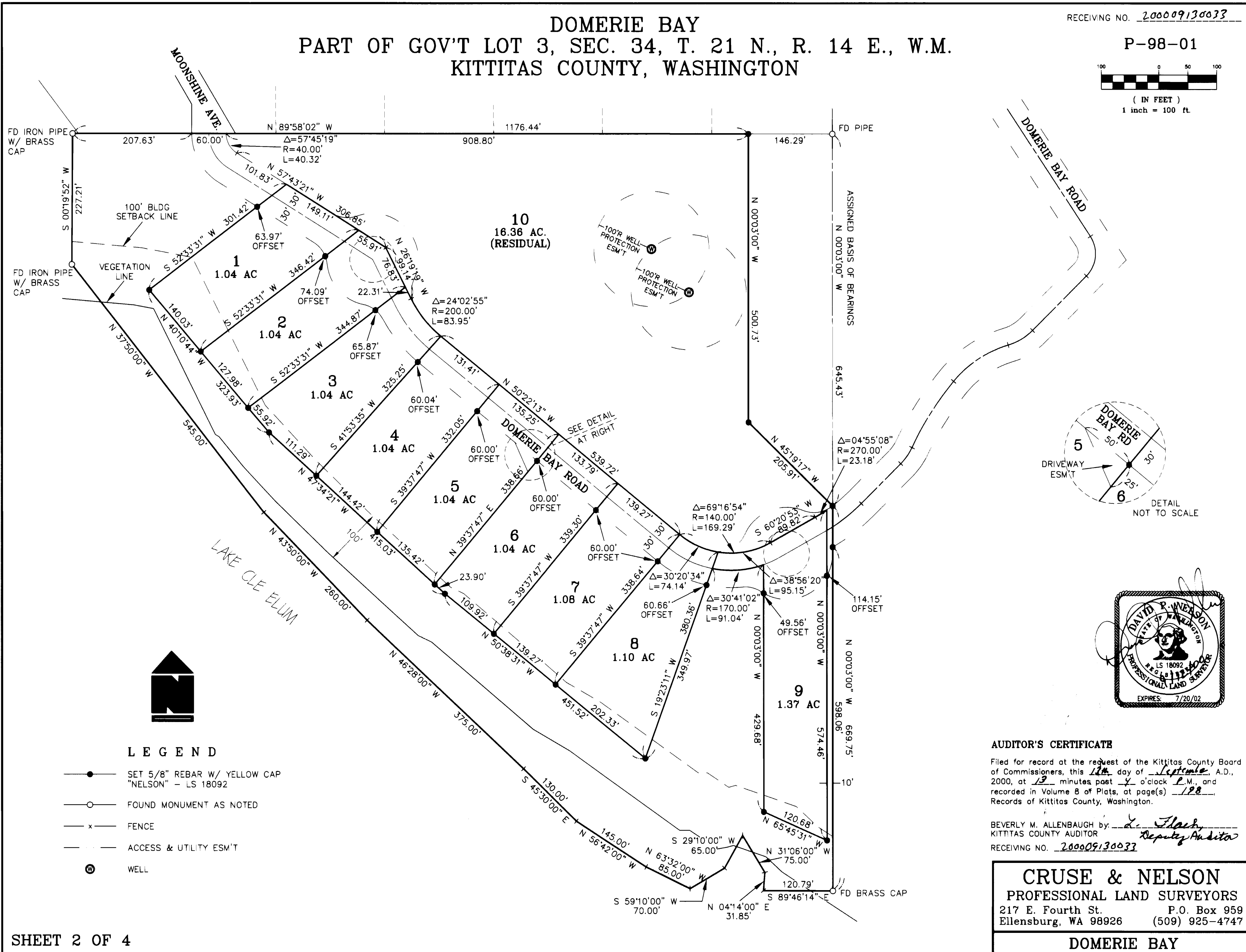
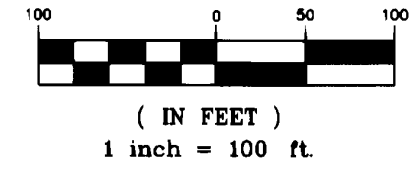
BY: *[Signature]*
CHAIRMAN
ATTEST: *[Signature]*
CLERK OF THE BOARD



DOMERIE BAY PART OF GOV'T LOT 3, SEC. 34, T. 21 N., R. 14 E., W.M. KITITAS COUNTY, WASHINGTON

RECEIVING NO. 200009130033

P-98-01



LEGEND

- SET 5/8" REBAR W/ YELLOW CAP "NELSON" - LS 18092
- FOUND MONUMENT AS NOTED
- x — FENCE
- — ACCESS & UTILITY ESM'T
- ⊙ WELL

AUDITOR'S CERTIFICATE

Filed for record at the request of the Kittitas County Board of Commissioners, this 12th day of September, A.D., 2000, at 13 minutes past 4 o'clock P.M., and recorded in Volume B of Plats, at page(s) 198 Records of Kittitas County, Washington.

BEVERLY M. ALLENBAUGH by: D. Flash
KITITAS COUNTY AUDITOR Deputy Auditor
RECEIVING NO. 200009130033

CRUSE & NELSON
PROFESSIONAL LAND SURVEYORS
217 E. Fourth St. P.O. Box 959
Ellensburg, WA 98926 (509) 925-4747

DOMERIE BAY

DOMERIE BAY
PART OF GOV'T LOT 3, SEC. 34, T. 21 N., R. 14 E., W.M.
KITITAS COUNTY, WASHINGTON

P-98-01

ORIGINAL PARCEL DESCRIPTIONS

PARCEL A

GOVERNMENT LOT 3, SECTION 34, TOWNSHIP 21 NORTH, RANGE 14 EAST, W.M., KITITAS COUNTY, STATE OF WASHINGTON;

EXCEPT THAT PORTION, THEREOF, CONVEYED TO THE UNITED STATES OF AMERICA FOR LAKE CLE ELUM OVERFLOW AREA BY WARRANTY DEED RECORDED APRIL 16, 1917 UNDER AUDITOR'S FILE NO. 45690, ALL AS DESCRIBED ON THAT CERTAIN CERTIFICATE OF SURVEY FILED FOR RECORD ON OCTOBER 12, 1993 IN BOOK 19 OF SURVEYS AT PAGE 161, UNDER KITITAS COUNTY AUDITOR'S FILE NO. 564227;

AND EXCEPT THAT PORTION OF GOVERNMENT LOT 3, SECTION 34, TOWNSHIP 21 NORTH, RANGE 14 EAST, W.M., IN THE COUNTY OF KITITAS, STATE OF WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID GOVERNMENT LOT 3, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 00°06'00" WEST, ALONG THE EAST LINE THEREOF, 645.43 FEET; THENCE NORTH 45°10'17" WEST, 205.91 FEET; THENCE NORTH 00°06'00" EAST, 500.73 FEET, MORE OR LESS, TO THE NORTH LINE OF SAID GOVERNMENT LOT 3; THENCE SOUTH 89°49'02" EAST, ALONG SAID NORTH LINE, 146.29 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING.

PARCEL B

AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 21 NORTH, RANGE 14 EAST, W.M., RECORDS OF KITITAS COUNTY, STATE OF WASHINGTON, WHICH IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 1, SUNSHINE ESTATES NO. 2, AS PER PLAT RECORDED IN VOLUME 3 OF PLATS, PAGE 79, RECORDS OF KITITAS COUNTY, STATE OF WASHINGTON; THENCE SOUTH 00°06'00" WEST ALONG THE NORTH-SOUTH CENTERLINE OF SECTION 34 A DISTANCE OF 645.43 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00°06'00" WEST ALONG THE CENTERLINE 71.69 FEET TO A POINT ON A CURVE WHOSE RADIUS POINT BEARS NORTH 29°30'07" WEST 330.00 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 15°36'10", AN ARC LENGTH OF 89.87 FEET; THENCE NORTH 44°53'43" EAST, 97.45 FEET TO A POINT OF CURVE TO THE LEFT; THENCE NORTHEASTERLY ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 130.00 FEET THROUGH A CENTRAL ANGLE OF 19°34'19", AN ARC LENGTH OF 44.41 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 520.00 FEET THROUGH A CENTRAL ANGLE OF 14°12'22", AN ARC LENGTH OF 128.93 FEET TO A POINT OF COMPOUND CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 165.00 FEET THROUGH A CENTRAL ANGLE OF 33°58'04", AN ARC LENGTH OF 97.82 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 130.00 FEET THROUGH A CENTRAL ANGLE OF 28°36'07", AN ARC LENGTH OF 64.90 FEET; THENCE NORTH 44°53'43" EAST 201.86 FEET TO THE EASTERLY BOUNDARY OF A TRACT OF LAND AS CONVEYED BY DEED FILED NOVEMBER 29, 1990 UNDER AUDITOR'S FILE NO. 535336; THENCE NORTH 33°01'12" WEST ALONG SAID EASTERLY BOUNDARY 333.24 FEET; THENCE NORTH 55°25'39" EAST ALONG SAID EASTERLY BOUNDARY 350.71 FEET TO THE SOUTHWESTERLY BOUNDARY LINE OF SALMON LA SAC COUNTY ROAD; THENCE NORTH 29°45'03" WEST ALONG SAID SOUTHWESTERLY BOUNDARY LINE 60.21 FEET; THENCE SOUTH 55°25'39" WEST 414.17 FEET; THENCE SOUTH 33°01'12" EAST 322.91 FEET TO A POINT OF CURVE TO THE RIGHT; THENCE SOUTHERLY ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET THROUGH A CENTRAL ANGLE OF 77°54'55" AN ARC LENGTH OF 34.00 FEET; THENCE SOUTH 44°53'43" WEST 133.13 FEET TO A POINT OF CURVE TO THE RIGHT; THENCE SOUTHWESTERLY ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 70.00 FEET THROUGH A CENTRAL ANGLE OF 28°36'07", AN ARC LENGTH OF 34.94 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 225.00 FEET THROUGH A CENTRAL ANGLE OF 33°58'04", AN ARC LENGTH OF 133.39 FEET TO A POINT OF COMPOUND CURVATURE; THENCE SOUTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 580.00 FEET THROUGH A CENTRAL ANGLE OF 14°12'22" AN ARC LENGTH OF 143.81 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 70.00 FEET THROUGH A CENTRAL ANGLE OF 19°34'19", AN ARC LENGTH OF 23.91 FEET; THENCE SOUTH 44°53'43" WEST 97.45 FEET TO A POINT OF CURVE TO THE RIGHT; THENCE SOUTHWESTERLY ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 270.00 FEET THROUGH A CENTRAL ANGLE OF 8°03'59" AN ARC LENGTH OF 38.01 FEET TO THE TRUE POINT OF BEGINNING.

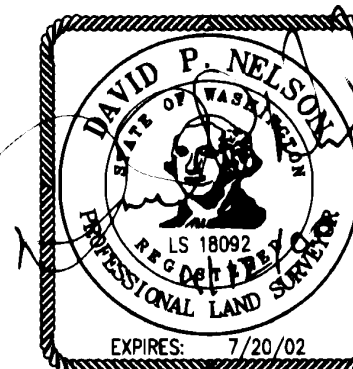
NOTES:

1. THIS SURVEY WAS PERFORMED USING A TOPCON GTS-3C TOTAL STATION. THE CONTROLLING MONUMENTS AND PROPERTY CORNERS SHOWN HEREON WERE LOCATED, STAKED AND CHECKED FROM A CLOSED FIELD TRAVERSE IN EXCESS OF 1:10,000 LINEAR CLOSURE AFTER AZIMUTH ADJUSTMENT.
2. A PUBLIC UTILITY EASEMENT 10 FEET IN WIDTH IS RESERVED ALONG ALL LOT LINES. THE 10 FOOT EASEMENT SHALL ABUT THE EXTERIOR PLAT BOUNDARY AND SHALL BE DIVIDED 5 FEET ON EACH SIDE OF INTERIOR LOT LINES. SAID EASEMENT SHALL ALSO BE USED FOR IRRIGATION.
3. PER RCW 17.10.140 LANDOWNERS ARE RESPONSIBLE FOR CONTROLLING AND PREVENTING THE SPREAD OF NOXIOUS WEEDS. ACCORDINGLY, THE KITITAS COUNTY NOXIOUS WEED BOARD RECOMMENDS IMMEDIATE RESEEDING OF AREAS DISTURBED BY DEVELOPMENT TO PRECLUDE THE PROLIFERATION OF NOXIOUS WEEDS.
4. FOR SECTION SUBDIVISION, SECTION AND QUARTER SECTION CORNER DOCUMENTATION AND ADDITIONAL SURVEY INFORMATION, SEE BOOK 19 OF SURVEYS, PAGE 161 AND THE SURVEYS REFERENCED THEREON.
5. MAINTENANCE OF THE ACCESS IS THE RESPONSIBILITY OF THE PROPERTY OWNERS WHO BENEFIT FROM ITS USE.
6. AN APPROVED ACCESS PERMIT WILL BE REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO CREATING ANY NEW DRIVEWAY ACCESS OR PERFORMING WORK WITHIN THE COUNTY ROAD RIGHT OF WAY.
7. ANY FURTHER SUBDIVISION OR LOTS TO BE SERVED BY PROPOSED ACCESS MAY RESULT IN FURTHER ACCESS REQUIREMENTS. SEE KITITAS COUNTY ROAD STANDARDS (SEC. 12.30.010).
8. ACCORDING TO KCRS 12.50.30 MAILBOX(S) SHALL BE "BREAK-AWAY" DESIGN AND BE APPROVED BY THE U.S. POSTAL SERVICE. SEE WSDOT STANDARD DRAWINGS H-12 SHEET 1-3.
9. THE SUBJECT PROPERTY IS WITHIN OR NEAR EXISTING AGRICULTURAL OR OTHER NATURAL RESOURCE AREAS ON WHICH A VARIETY OF ACTIVITIES MAY OCCUR THAT ARE NOT COMPATIBLE WITH RESIDENTIAL DEVELOPMENT FOR CERTAIN PERIODS OF VARYING DURATION. AGRICULTURAL OR OTHER NATURAL RESOURCE ACTIVITIES PERFORMED IN ACCORDANCE WITH COUNTY, STATE AND FEDERAL LAWS ARE NOT SUBJECT TO LEGAL ACTION AS PUBLIC NUISANCES. KITITAS COUNTY HAS ADOPTED RIGHT TO FARM PROVISIONS CONTAINED IN THE SECTION 17.74 OF THE KITITAS COUNTY ZONING CODE.
10. FURTHER SUBDIVISION OR DEVELOPMENT OF THE RESIDUAL PARCEL (LOT 10) IS PROHIBITED FOR A PERIOD OF TEN YEARS PURSUANT TO KITITAS COUNTY CLUSTER SUBDIVISION ORDINANCE, SECTION 17.65.040(C).
11. PURSUANT TO KCC SECTION 17.65.040(G), AND KCC CHAPTER 17.74, THE RESIDUAL PARCEL MAY BE FARMED.

AUDITOR'S CERTIFICATE

Filed for record at the request of the Kittitas County Board of Commissioners, this 14th day of September, A.D., 2000, at 12 minutes past 4 o'clock P.M., and recorded in Volume 8 of Plats, at page(s) 199 Records of Kittitas County, Washington.

BEVERLY M. ALLENBAUGH by: K. Flack
KITITAS COUNTY AUDITOR Deputy Auditor
RECEIVING NO. 200009130033



CRUSE & NELSON
PROFESSIONAL LAND SURVEYORS
217 E. Fourth St. P.O. Box 959
Ellensburg, WA 98926 (509) 925-4747

DOMERIE BAY

RECEIVING NO. 200009130033

DOMERIE BAY
PART OF GOV'T LOT 3, SEC. 34, T. 21 N., R. 14 E., W.M.
KITITAS COUNTY, WASHINGTON

P-98-01

DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT GREEN CROW PROPERTIES, INC., A WASHINGTON CORPORATION, THE UNDERSIGNED OWNER OF THE HEREIN DESCRIBED REAL PROPERTY, DOES HEREBY DECLARE, SUBDIVIDE AND PLAT AS HEREIN DESCRIBED.

IN WITNESS WHEREOF, I HAVE SET MY HAND THIS 10th DAY OF September, A.D., 2000.

GREEN CROW PROPERTIES, INC.

Dennis Yakovich
DENNIS YAKOVICH
PRESIDENT

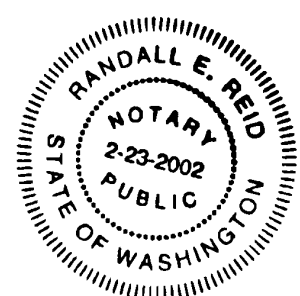
ACKNOWLEDGEMENT

STATE OF WASHINGTON }
COUNTY OF CLALLAM } S.S.

THIS IS TO CERTIFY THAT ON THIS 10TH DAY OF SEPTEMBER, A.D., 2000, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED DENNIS YAKOVICH, TO ME KNOWN TO BE THE PRESIDENT OF GREEN CROW PROPERTIES, INC. AND ACKNOWLEDGED THE SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE THE SAID INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR FIRST WRITTEN.

Randall E. Reid
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON RESIDING AT PORT ANGELES
MY COMMISSION EXPIRES: 2/23/02



DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT GREEN CROW CORPORATION, A WASHINGTON CORPORATION, THE UNDERSIGNED BENEFICIARY OF A DEED OF TRUST FOR THE HEREIN DESCRIBED REAL PROPERTY, DOES HEREBY DECLARE, SUBDIVIDE AND PLAT AS HEREIN DESCRIBED.

IN WITNESS WHEREOF, I HAVE SET MY HAND THIS 10th DAY OF September, A.D., 2000.

GREEN CROW CORPORATION

Randall S. Johnson
RANDALL S. JOHNSON
PRESIDENT

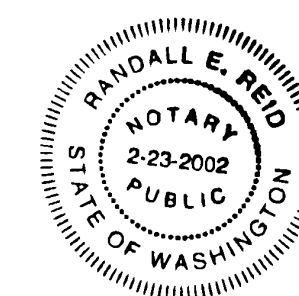
ACKNOWLEDGEMENT

STATE OF WASHINGTON }
COUNTY OF CLALLAM } S.S.

THIS IS TO CERTIFY THAT ON THIS 10TH DAY OF SEPTEMBER, A.D. 2000, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED RANDALL S. JOHNSON, TO ME KNOWN TO BE THE PRESIDENT OF GREEN CROW CORPORATION, AND ACKNOWLEDGED THE SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE THE SAID INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR FIRST WRITTEN.

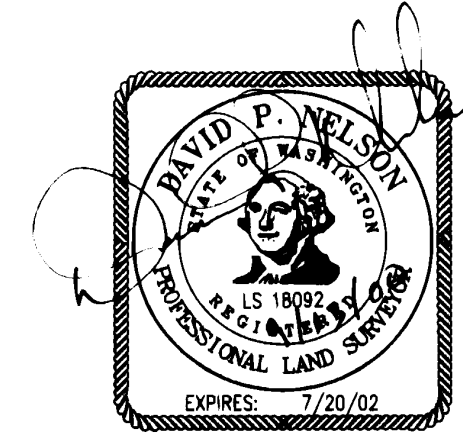
Randall E. Reid
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON RESIDING AT PORT ANGELES
MY COMMISSION EXPIRES: 2/23/02



AUDITOR'S CERTIFICATE

Filed for record at the request of the Kittitas County Board of Commissioners, this 10th day of September, A.D., 2000, at 13 minutes past 4 o'clock P.M., and recorded in Volume 8 of Plats, at page(s) 200, Records of Kittitas County, Washington.

BEVERLY M. ALLENBAUGH by: B. Flash
KITITAS COUNTY AUDITOR
RECEIVING NO. 200009130033 Deputy Auditor



CRUSE & NELSON
PROFESSIONAL LAND SURVEYORS
217 E. Fourth St. P.O. Box 959
Ellensburg, WA 98926 (509) 925-4747

DOMERIE BAY